

OPSC/PVT WORKSHOP

**Prepare the Perfect Cost Estimate
for Site Development Grants**



Presented by the PVT

Office of Public School Construction

PVT WORKSHOP

What is the Plan Verification Team at OPSC?

1. A team of individuals whose mission is to verify the requested quantity and costs of applications received at OPSC for funding.
2. Working to foster a better relationship with the School Districts, Architects, and Cost Estimators we work with.
3. Ensure compliance with the School Facility Program Regulations.
4. Work with a total of eleven different funding programs within the OPSC. These include, but are not limited to: New Construction, Modernization, Career Tech, Overcrowded Relief Grant, Access/Fire & Life Safety and Facility Hardship.

OVERVIEW

School Facility Program - Additional Site Development Grant Overview

1. Base Grant vs. Additional Site Development Grant
Understanding the Site Development Regulations
2. Regulation 1859.76. Government Regulations
3. Supporting Documentation
4. Site Development Worksheet for Additional Grants
and What Makes a Good Cost Estimate
5. PVT's Review Process

Base Grant vs Additional Site Development Grant

In order to provide the School Districts with basic overview of what is considered in the “**base**” grant versus the “**additional**” grant, OPSC has outlined eligible items in each category. Keep in mind that this information is provided to give a sense of eligible items. However, it is not limited to only items as shown. If you are unclear and need further assistance, please contact Plan Verification Team.

BASE GRANT		
DESIGN	GENERAL SITE *	BUILDING
Including but not limited to: Architect Fee Engineer Fee Consultant Fee Plan Check Fee Permit Fee	Including but not limited to: Finish Grading Roads & Driveways Sidewalks, Stairs, & Ramps Parking Area Curbs & Gutters Turfed/Paved Play Area Playground Equipment Surface Drains at Play Area V-Gutters at Parking Lot Landscaping & Irrigation System Site Lighting Fencing & Outdoor Walls Site Utilities	Including but not limited to: Foundations Structures Ext. & Int. Finishes Fittings & Fixtures Furniture & Equipment Plumbing Electrical Mechanical Material Testing Inspection Change Orders

* Additional general site grant provided with acquisition of additional acreage.

Base Grant vs Additional Site Development Grant

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ADDITIONAL GRANT FOR SITE DEVELOPMENT		
SERVICE SITE	OFF-SITE	UTILITY - P.O.C. TO SITE
A1. Site clearance	B1. Curbs & Gutters	C1. Water
A2. Demolition	B2. Sidewalks	C2. Sewer
A3. Rerouting Utility Lines	B3. Street Light, & etc.	C3. Gas
A4. Rough Grading	B4. Special District Fees	C4. Electrical
A5. Soil Compaction	B5. Storm Drains	C5. Communications
A6. Storm Drains	B6. Safety paths	*Design Fee 8%
A7. Erosion Control	*Design Fee 8% <i>except Special</i>	
A8. Stairs & Retaining Walls	<i>District Fee</i>	
A9. Relocation of Portables		
A10. Fire Code Requirements		
A11. Multi-Level Parking		
*Design Fee 8%		

SUPPORTING DOCUMENTS

- DSA approved plans.
- DSA approved specifications.
- Local authority approved off-site plans or preliminary approval letter from the local authorities as needed for items not required by DSA.
- Detailed cost estimate for site development with Saylor Current Construction Cost amounts requested.
- Soil/geotechnical reports to back up grading and excavation requirements.

SUPPORTING DOCUMENTS

- Reference plan pages and Saylor Construction Specifications Institute numbers (CSI#'s) on worksheets, highlight plans, and provide calculations for grading and fill in comments.
- Local Utility Districts fee schedules and calculations, as applicable.
- Local Utility Companies connection fee information, as applicable.
- **Clarify requested costs with comments if/when needed. A little explanation goes a long way.**

OPSC / PVT REVIEW PROCESS

FIRST REVIEW (15-Day Letter)

- ◆ **OPSC may request additional information, such as:**
 - ◆ **Soils Reports**
 - ◆ **District / Utility fees**
 - ◆ **Quantity & unit cost breakdowns of requested items**
- ◆ **The District must make changes to the original cost estimate to reflect PVT's findings or contest the findings in the comments section.**
- ◆ **New or additional plan sets will not be accepted after the initial submittal package is received by the OPSC.**

OPSC / PVT REVIEW PROCESS

SECOND REVIEW (4-Day Letter)

If necessary, after a response from the district to OPSC first review comments, OPSC may request further clarification or justification.

- ◆ **Accept final site development cost as full and final. No adjustments will be made in the cost estimate.**
- ◆ **Withdraw the application and resubmit in next funding cycle.**
- ◆ **File an appeal and dispute the funding.**

Communication

- ◆ **If there are questions concerning possible issues related to PVT, it is beneficial to call or set up a meeting to discuss those issues before the application is submitted to OPSC.**
- ◆ **An important goal is better lines of communication and improved customer service.**

SITE DEVELOPMENT COST DETERMINATION

- ◆ Reasonable and appropriate site development work which meets common engineering practices and industry standards.
- ◆ Reasonable site development costs which are consistent with the Saylor "Current Construction Costs."
- ◆ If items cannot be found in Saylor, other cost reference books, contractor's quotes, and unit cost breakdowns will be considered.

Division 4 CSI #	04 - MASONRY Description	Unit	Material	Union Install	Union Total	Open Install	Open Total	Unit Man-Hrs
04.0000 000	MASONRY: <i>Note: Any condition other than that specified in the description shall be accounted for by separate items. Coping and sills, jamba and heads must be included from the address of the work.</i>							
04.1001 000	BRICK VENEER:							
04.1001 011	Veneer, 4", standard brick, commercial	SF	4.75	4.69	9.44	2.69	7.44	0.0871
04.1001 021	Veneer, 4", standard brick, residential	SF	2.94	4.22	7.16	2.42	5.36	0.0783
04.1001 031	Veneer, 4", modular	SF	5.04	6.61	11.65	3.80	8.84	0.1228
04.1001 041	Veneer, jumbo brick, 4"x4"x12"	SF	3.37	4.65	8.02	2.67	6.04	0.0864
04.1001 051	Veneer, jumbo brick, 6"x4"x12"	SF	4.82	5.17	9.99	2.97	7.79	0.0961
04.1001 061	Veneer, jumbo brick, 8"x4"x12"	SF	6.27	5.72	11.99	3.16	8.61	0.1063
04.1001 071	Veneer, face brick, select	SF	5.52	7.11	12.63	4.08	9.60	0.1321
04.1001 081	Veneer, normal brick	SF	4.58	7.03	11.61	4.03	8.61	0.1305
04.1001 091	Veneer, roman brick	SF	5.32	9.99	15.31	5.74	11.06	0.1856
04.1001 101	Veneer, glazed brick	SF	8.49	11.31	19.80	6.49	14.98	0.2100

SITE DEVELOPMENT WORKSHEET FOR ADDITIONAL GRANT – Preformatted Template

SITE DEVELOPMENT WORKSHEET FOR ADDITIONAL GRANTS

SCHOOL DISTRICT	5 DIGIT DISTRICT CODE
SCHOOL NAME	COUNTY
ARCHITECTS FIRM	DATE OF ESTIMATE

Plan Ref.	CSI #	Description	Quantity	Unit	Unit Cost	Total
		<i>(A) SERVICE SITE DEVELOPMENT</i>	Go To Off-Site		Go To Utility	
		<p><u>A1. Site Clearance - Section 1859.76(a)(1)</u> Removal of trees, brush and debris. Site Preparation Clear, grub, brush, turf, roots, disposal</p> <p>Tree Removal Remove tree, 6"-8", off site disposal Remove tree, 10"-14", off site disposal Remove tree, 20"-30", off site disposal</p>		SF EA EA EA		
		<p><u>A2. Demolition - Section 1859.76(a)(2)</u> Demolition and removal of existing buildings and site improvements that lie in the footprint of a building or proposed site development. Asphalt & Concrete Paving Removal Remove pavement, asphalt, 5,000 to 25,000 sqft. Remove pavement, asphalt, 25,000 to 50,000 sqft. Remove pavement, asphalt, over 50,000 sqft. Remove concrete slab, 5" max, with rebar Remove concrete curb/gutter, no saw ing Remove concrete curb-planter & batter board Remove concrete sidewalk, outside building</p>		SF SF SF SF LF SF SF		
			A1. Site Clearance:		\$	-

ADDITIONAL GRANT FOR SITE DEVELOPMENT COST

Regulation Section 1859.76

The district may request additional grants for the following:

◆ **Service Site - Section 1859.76(a)**

- ◆ Costs of developing the site within the property lines.

◆ **Off-Site - Section 1859.76(b)**

- ◆ Costs of improving two immediately adjacent sides of the site that needs work. (Other variations are available in special circumstances.)

◆ **Utility Service - Section 1859.76(c)**

- ◆ Costs of bringing utilities onto the site to serve the project.

SERVICE SITE DEVELOPMENT

Regulation Section 1859.76(a)

Typical Service Site Development items include:

- 1) Site Clearance
- 2) Rough Grading & Soil Compaction
- 3) Erosion Control (Storm Water Pollution Prevention Plan, SWPP)
- 4) Stairs, Ramps, & Retaining Walls (see Exhibit 1)
- 5) Removal of permanent (classrooms) structures

EXHIBIT 1 – STAIRS, RAMPS & RETAINING WALLS

The diagram below indicates typical stairs, ramps, & retaining walls.

Stairs, Ramps, & Retaining Walls - Section 1859.76(a)(8)

- the existing slope to be at least 2:1.
- the vertical height to be greater than six feet.

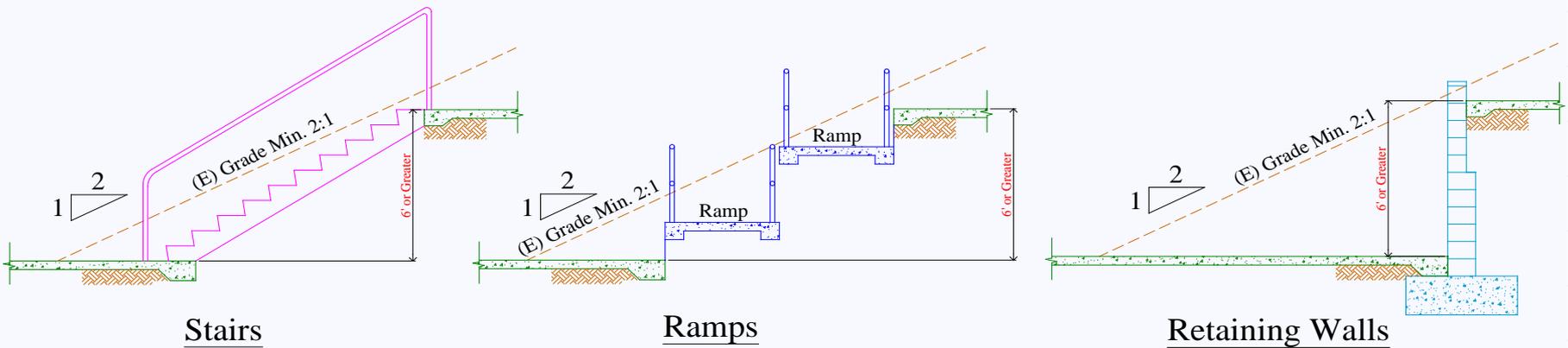
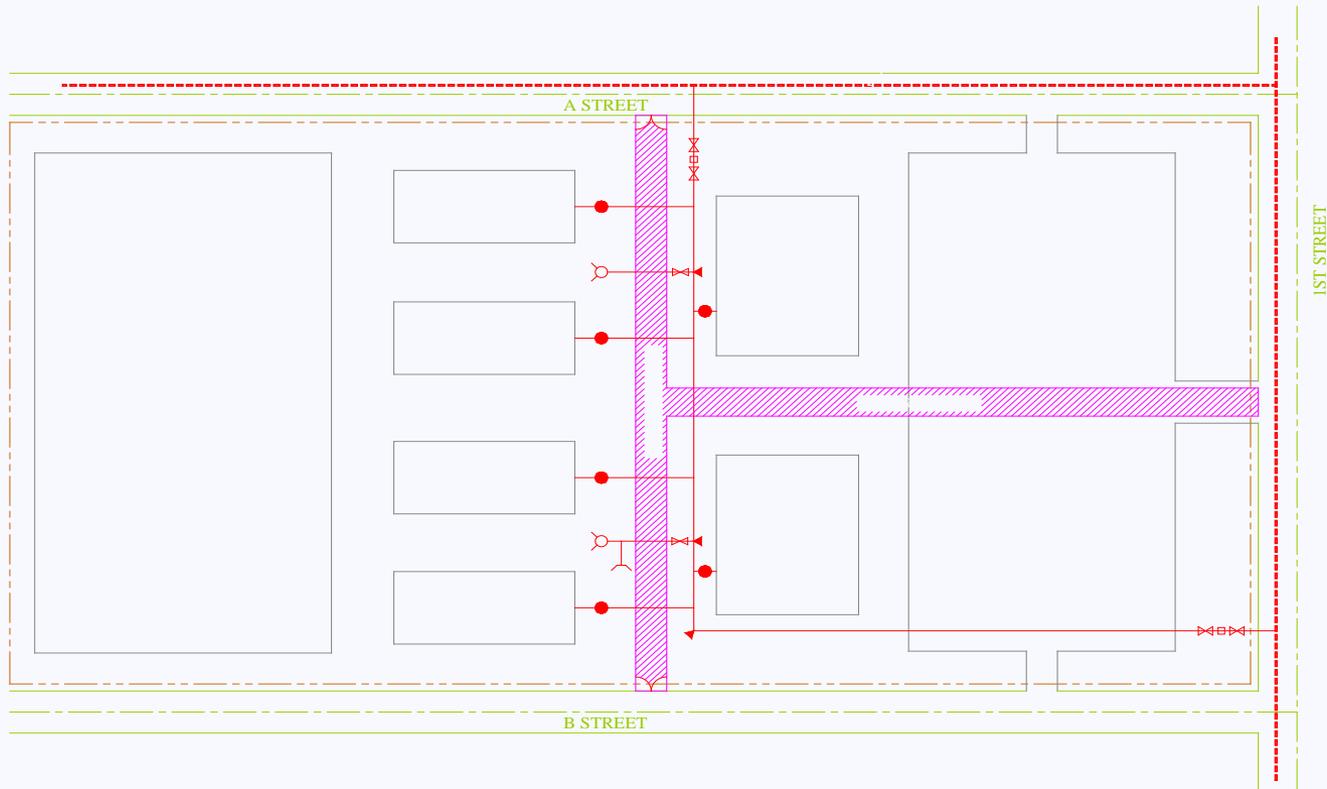


EXHIBIT 2 – FIRE CODE REQUIREMENTS

The diagram below indicates typical fire code requirements.



OFF-SITE DEVELOPMENT

Regulation Section 1859.76(b)

Typical Off-Site Development items include:

- 1) Curb, Gutters, & Paving (See Exhibit 3A)
- 2) Street Lighting, Landscaping, & Signage (See Exhibit 3B)
- 3) Storm Drain Costs
- 4) Safety Paths

Permits/fees, testing, inspections, etc. that is related to the off-site development are ineligible for State funding.

EXHIBIT 3A – OFF-SITE STREET IMPROVEMENT

The diagram below indicates typical off-site street improvement.

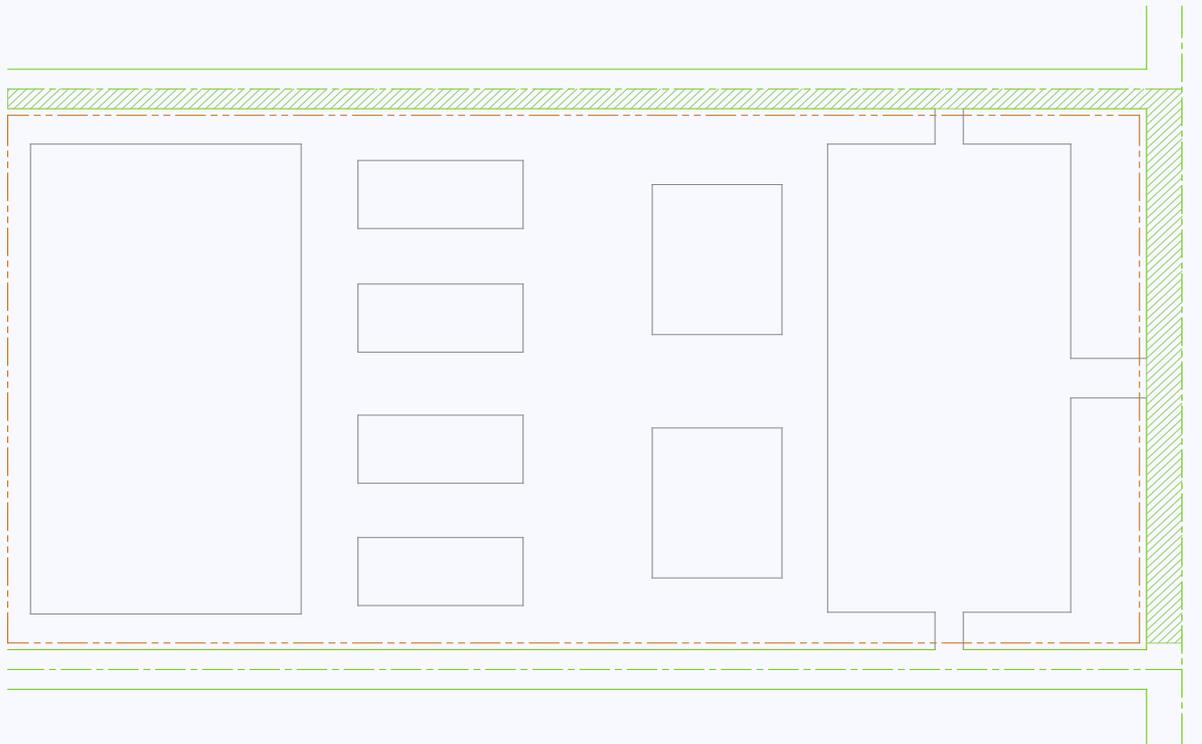
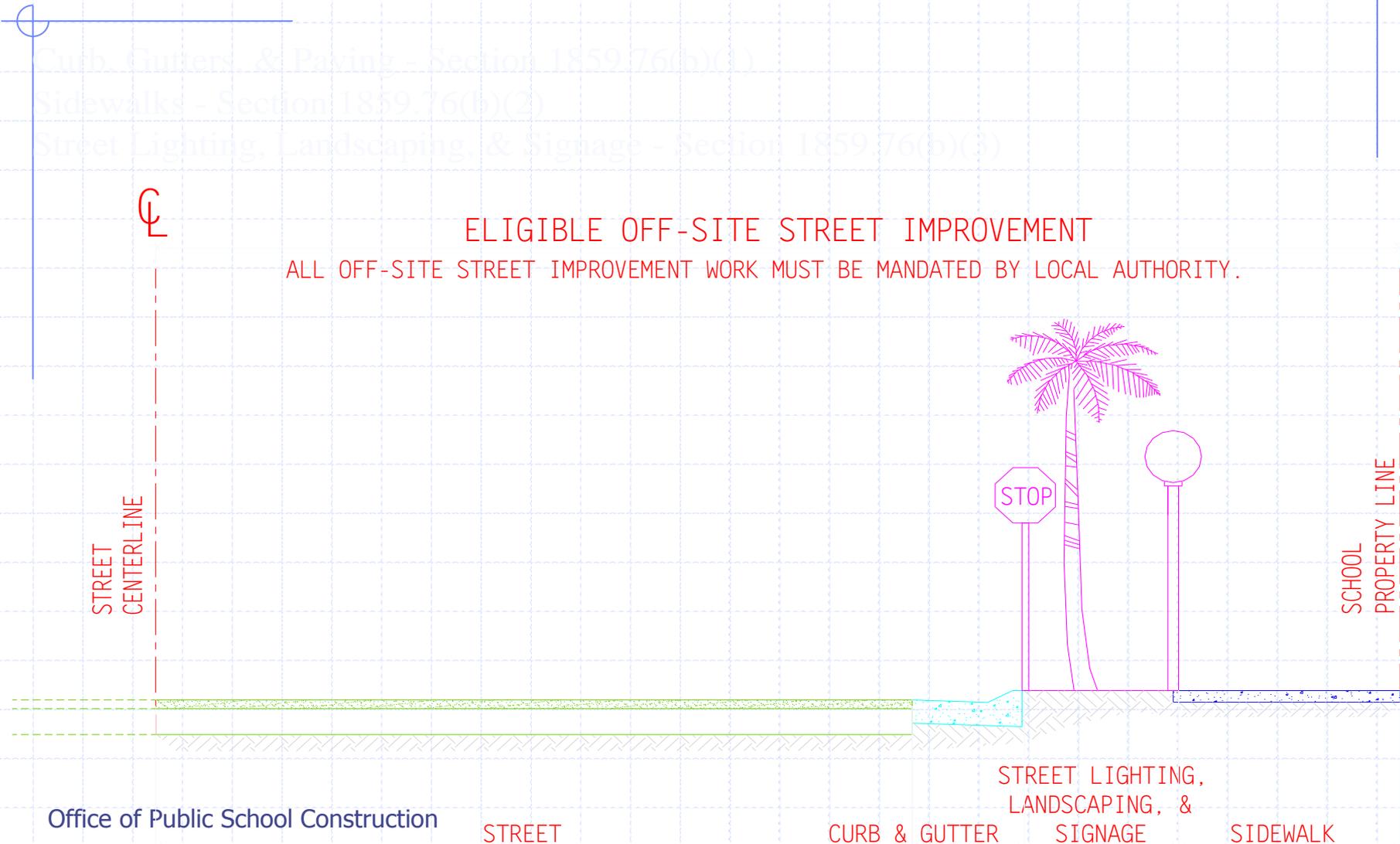


EXHIBIT 3B – OFF-SITE STREET IMPROVEMENT

The diagram below indicates typical off-site street improvement.

Curb, Gutters, & Paving - Section 1859.76(b)(1)
Sidewalks - Section 1859.76(b)(2)
Street Lighting, Landscaping, & Signage - Section 1859.76(b)(3)



UTILITY SERVICE

Regulation Section 1859.76(c)

Typical Utility Service items include:

- 1) Water (See Exhibit 4)
- 2) Sewer (See Exhibit 5)
- 3) Gas (See Exhibit 6)
- 4) Electrical (See Exhibit 7)
- 5) Communication

Utility company connection fees are eligible and should be requested as part of Special District Fees under Section 1859.76(b)(4) with appropriate supporting documentation.

EXHIBIT 4 – WATER

The diagram below indicates typical water supply.

Water - Section 1859.76(c)(1)

Main domestic water line from the P.O.C. to the water meter.

- Water meter if not provided by water utility.
- Water well, pump, tank if no public water is available.

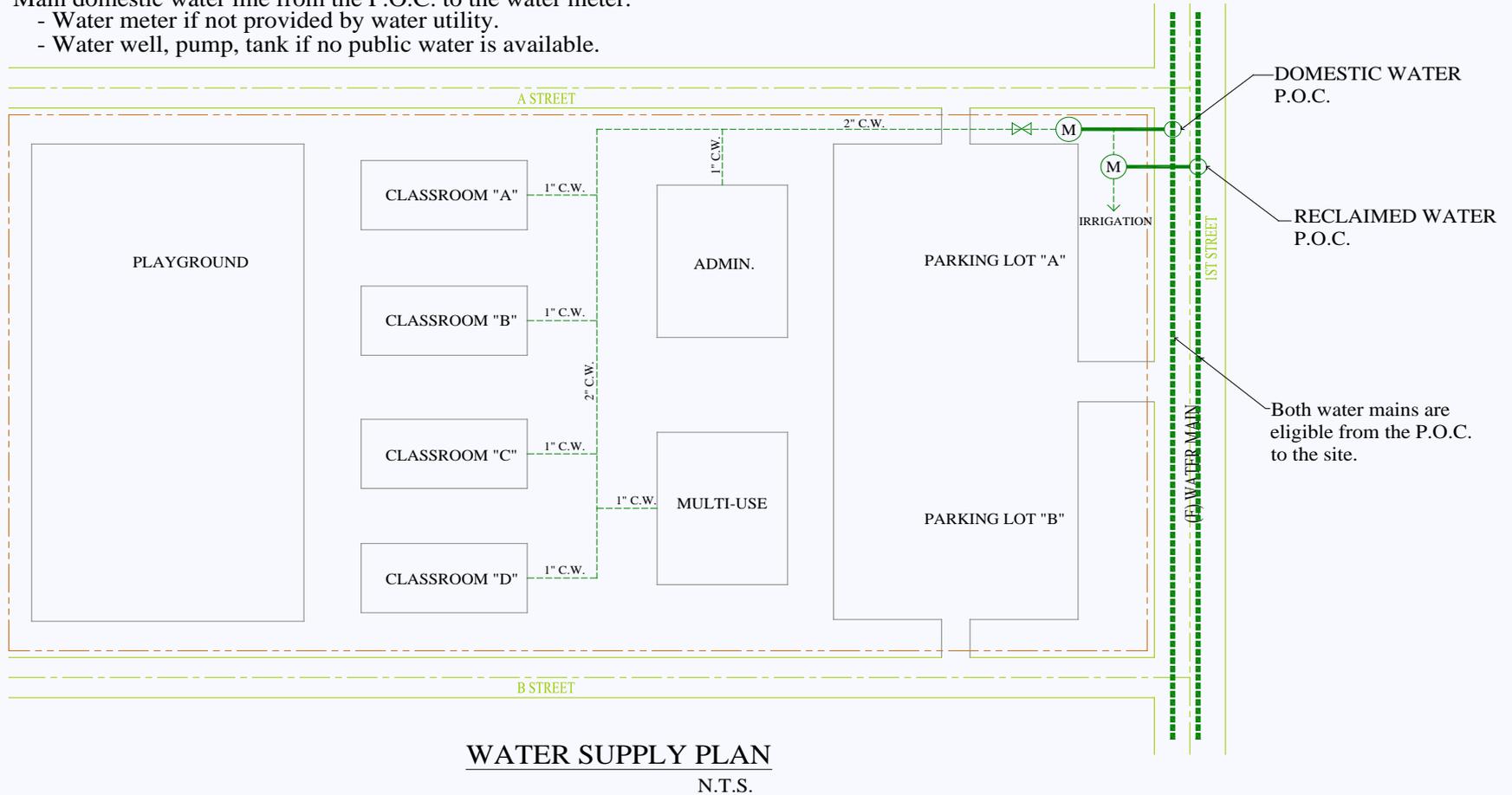


EXHIBIT 5 – SEWER

The diagram below indicates typical sewer drains.

Sewer - Section 1859.76(c)(2)

- Main Sewer line from the P.O.C. to the first building lateral.
- Septic system if no public sewer is available. Sewer line from tank to first building lateral.

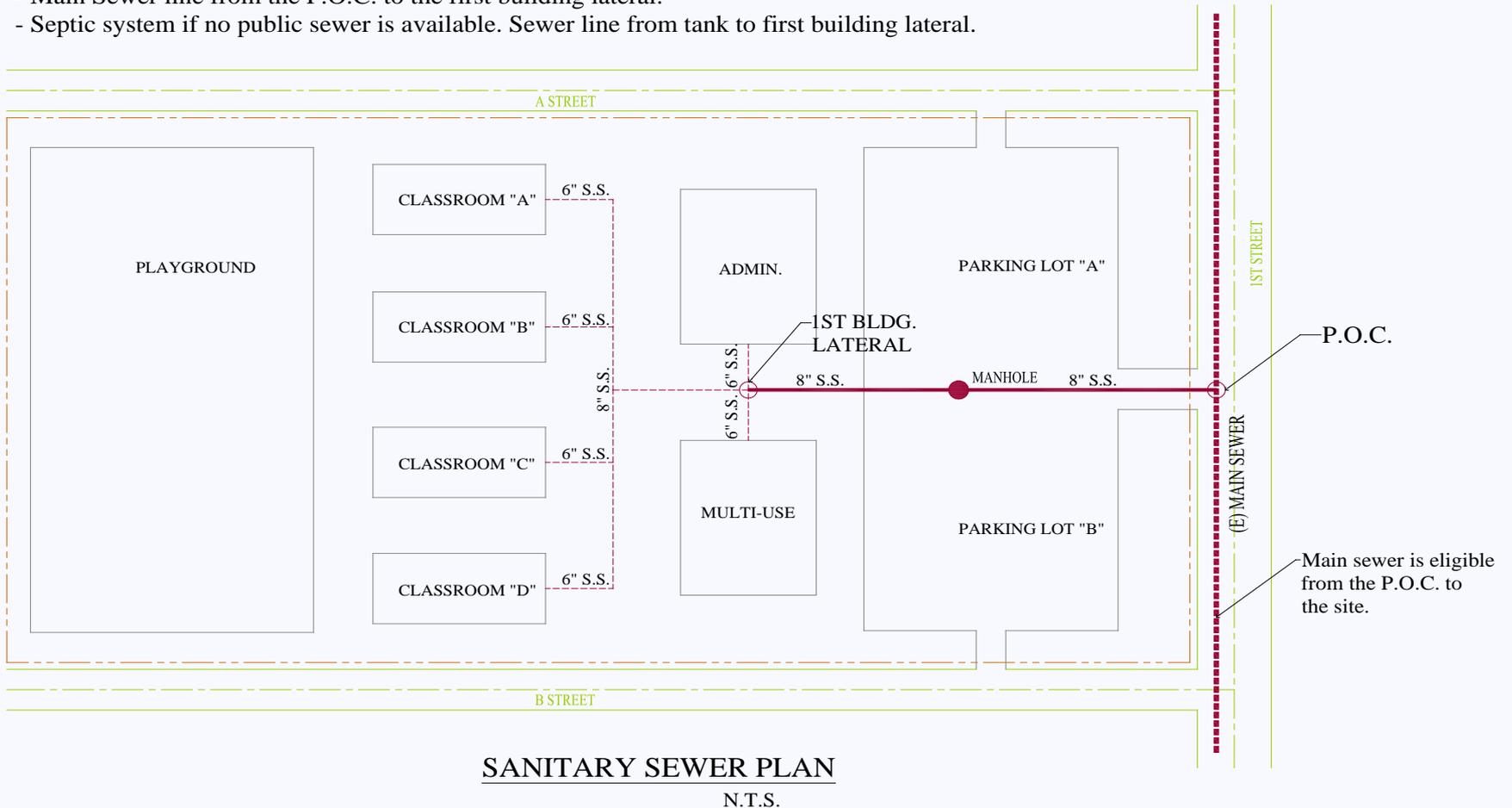


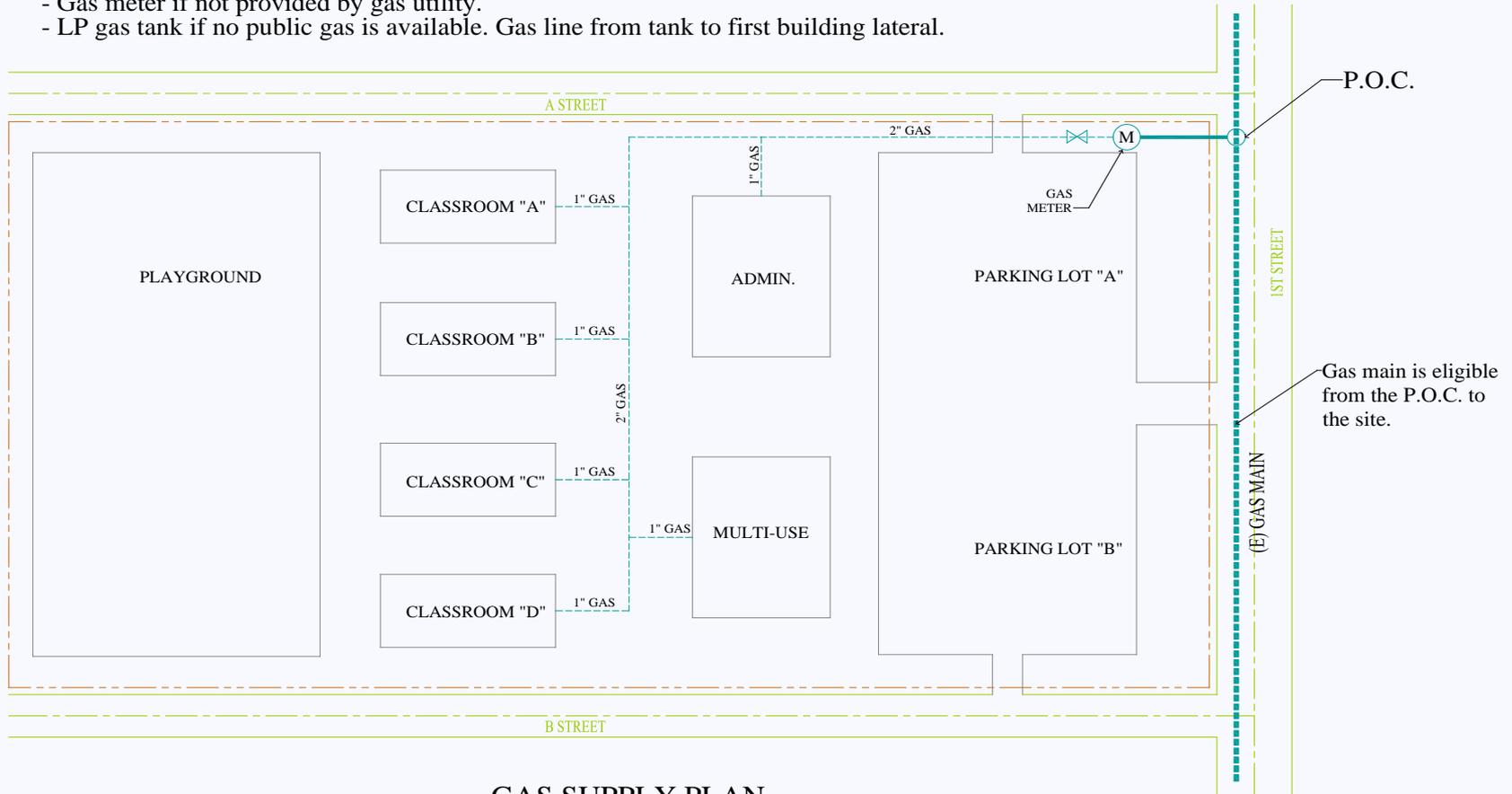
EXHIBIT 6 – GAS

The diagram below indicates typical gas supply.

Gas - Section 1859.76(c)(3)

Main gas line from the P.O.C. to the gas meter.

- Gas meter if not provided by gas utility.
- LP gas tank if no public gas is available. Gas line from tank to first building lateral.



GAS SUPPLY PLAN

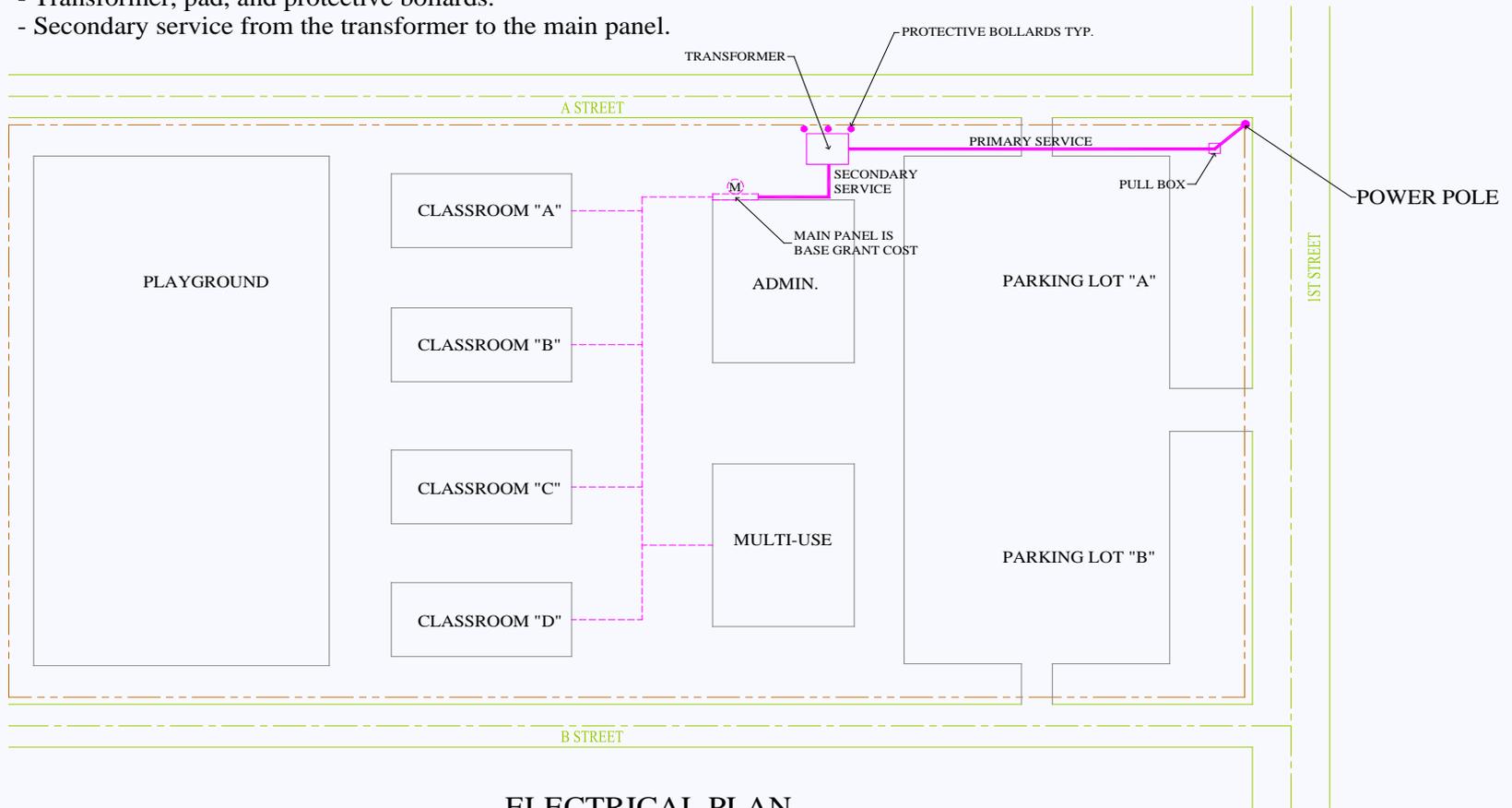
N.T.S.

EXHIBIT 7 - ELECTRICAL

The diagram below indicates typical electrical supply.

Electrical 1859.76(c)(4)

- Primary service from the P.O.C. to the transformer.
- Transformer, pad, and protective bollards.
- Secondary service from the transformer to the main panel.



ELECTRICAL PLAN
N.T.S.

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QUESTIONS AND DISCUSSION